

Traditional Neighborhood Development Ordinance Handbook



WISCONSIN

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❖ INTRODUCTION TO THE ORDINANCE

The City of River Falls and its surrounding towns and counties face many pressing-planning challenges. These challenges range from protecting a rich heritage and a magnificent setting, to preserving the sense of a small town with traditional neighborhoods.

When Wisconsin Act 9, otherwise known as Wisconsin's Comprehensive Planning Legislation (Smart Growth), was signed into law in 1999, section 66.1027 of this legislation required "Traditional Neighborhood Development ordinance" (TND). Below is a brief overview of the principles and objectives of the TND. These principles and objectives were used to guide the City's development of this ordinance. In addition to the ordinance text, illustrations have been provided to make the document easier to understand and to guide local officials and others interested in TND.

The City of River Falls currently has many characteristics similar to this TND ordinance. The historic neighborhoods of River Falls display the same distinctive character and design standards that are represented within this ordinance. This TND ordinance will help maintain and respect River Falls' unique personality, sense of place, and character.

The recent "Smart Growth" law initiated legislation for cities with a population of at least 12,500 to enact an ordinance for TND. This ordinance was also initiated through the adoption of the Sewer Service Area Water Quality Management Plan (October of 2000). This Sewer Service Area Plan outlined future neighborhood centers on the Future Land Use map and recommended that guidelines and ordinances be drafted to assist in the managing and development of these neighborhood centers. Three neighborhood centers are mapped on the Future Land Use map of the Sewer Service Area Plan for TNDs.

This ordinance is written in a format similar to some planned development districts or Planned Unit development ordinances. It is written in this format to allow flexibility for the City to map future TNDs and to allow a developer to propose a TND. TND ordinance is intended to provide an alternative to the conventional ordinances and Planned Unit Developments. The City may also need to adopt other applicable ordinances, to ensure that there is consistency with the principles of the TND.

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❖ Principles and Objectives of the Traditional Neighborhood Development (TND)

“Traditional Neighborhood Development” (TND) means: “Compact, mix use neighborhoods where residential, commercial and civics buildings are within close proximity to each other.” It is a planning concept that is based on the history of River Falls land use development. It also follows the concept of small towns and city neighborhood development principles. TND is, in part, a reaction to the often-inefficient use of land and infrastructure and lack of a sense of community in many of the newer developments that have been occurring in the River Falls area over the past years and throughout the State of Wisconsin. TND is found in the older parts of River Falls as well as in Wisconsin’s cities and villages. Most of these neighborhoods were developed prior to World War II. More recent examples are found in older parts of Greendale, a “greenbelt” community built by the Federal government near Milwaukee in the 1930’s and Middleton Hills, a new development beginning in the 1990’s in Middleton near Madison. Interest among consumers in TND appears to be growing and other TND projects in the planning stage, “Wisconsin State Journal 10-08-00.” TND is one of the varieties of planning concepts that share the similar themes. These models include Neo-Traditional Development, New Urbanism, Urban Villages, Hamlets, Compact Communities, Transit-Oriented

Development, Pedestrian Pockets, and the revitalization of existing traditional towns. This ordinance draws upon a number of these models as appropriate for the City of River Falls.

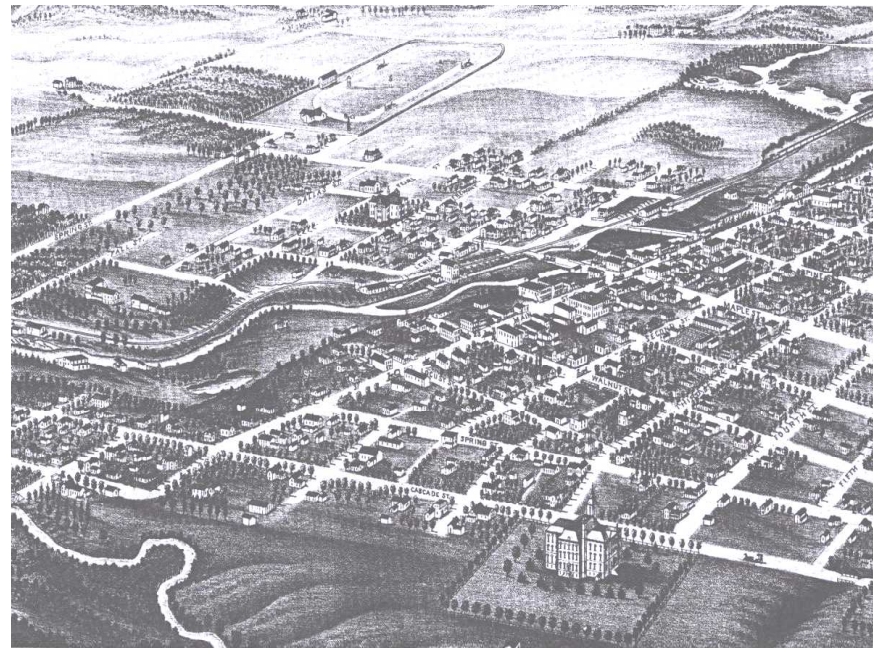


Figure 1. An overhead view of River Falls in 1880.

The concept of TND is the subject of a growing body of literature. While there is no single model for a TND, certain principles define the type of development. Understanding the principles and objectives of the TND is important in the process of developing a TND Ordinance. As part of drafting this ordinance the development patterns and designs of River Falls has been analyzed to develop the context and specific standards

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contained in this ordinance. These principles are discussed below and were used to guide the development of this ordinance.

- **Compact Development**

TND is compact. Compact development patterns (for both residential and commercial uses), can promote a more efficient use of land and lower the cost of providing public infrastructure and services. Compact development also means that development is designed for human scale. The human scale is defined as “the relationship between the dimensions of a human body and the proportion of the space of which people use.” This includes paying attention to walking distance, the height of buildings, the design of streets, streetlights and signs, sidewalks and other features.

Compact development can also promote social development by including civic spaces such as parks and public buildings. It also means residential, commercial and civic buildings are within close proximity of each other, which can encourage people to walk between the various uses.

- **Mixed Uses**

TND is designed to include a mixture of uses. This means that non-residential land uses, such as commercial, civic and open spaces, are mixed with residential land uses. Mixing land uses can broaden the tax base of a community. Mixing uses also promotes walking between

the various uses; different modes of transportation are promoted in the community such as walking, bicycling, transit, and automobiles.



Figure 2. Mixed-use area.

Mixed uses also provides a community center or focus. For example, the community center may be a public facility such as a park, recreational facility, school, library, or it may be a retail area. Mixed uses also means promoting a mix of housing types and sizes to accommodate households of all ages, sizes, and incomes. This means variety of lot sizes and densities, and allowing other types of housing such as attached single-family residents, townhouses, duplexes, four plexes, and specialty houses for seniors. Mixed uses may also mean that housing is provided in the same building above commercial uses such as shops or offices.

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▪ Multi Modes of Transportation

TND provides for access generally by way of an interconnecting work of circulation systems, which facilitate walking, bicycling, and driving. Streets are designed to provide the safe and efficient use of different transportation modes. The interconnected street pattern is meant to limit the use of isolated cul-de-sacs, which force the major circulation pattern of a community onto a few major roads. The use of cul-de-sacs should be limited to the number within a development and the size of units within a cul-de-sac area. Short blocks and traditional grid create multi routes and more direct ones for pedestrians, bicyclists, and motorists. Independent network of sidewalks and bicycles compliment the street network.

Traditional neighborhoods are also meant to be “pedestrian friendly.” Given the compact design of the neighborhood, streets may be narrower than what is required in conventional subdivision ordinances. Narrow streets and other “traffic calming” techniques help slow traffic down to promote pedestrian safety. Front porches and other amenities like street trees, can also encourage walking. The mixed uses of TND will also promote walking if shops, offices, and public services and facilities are within walking distance.

▪ Response to Cultural and Environmental Context

Significant cultural and environmental features of a site (amenities as well as constraints such as steep slopes, wetlands, critical wildlife areas, and highly erodible soils) should influence the way the site is developed. Development with a clear “sense of place” requires careful design and siting of buildings, streets, and other infrastructure. This includes the provision of adequate open space, neighborhood park and playgrounds, environmentally responsive storm water management systems, the use of indigenous vegetation, and the energy conservation measures in the design and orientation of structures also help create “sustainable development.” The historic and architectural character of the community are other important design influences.



Figure 3. Early Main Street in River Falls.



1. GENERAL PROVISIONS

1.1 STATUTORY AUTHORIZATION.

This ordinance was adopted (May 2002) pursuant to the authority contained in Sections 62.23 and 66.1027 of the Wisconsin Statutes.

1.2 LEGISLATIVE INTENT.

The purpose of this district is to allow for development of fully integrated, mixed use pedestrian oriented neighborhoods. The intent is to minimize traffic congestion, suburban sprawl, infrastructure cost and environmental degradation. Its provision adopted urban conventions, which were normally in the United States and the City of River Falls (City) until the 1940's and historically were based on the following design principles:

- ❖ Neighborhoods have identifiable centers and edges.
- ❖ Edge lots are readily accessible to retail and recreation by non-vehicular means (a distance not greater than one half mile).
- ❖ Use and housing types are mixed and in close proximity to one another.
- ❖ Street networks are interconnected and blocks are small.
- ❖ Civic buildings are given prominent sites throughout the neighborhood.

1.3 APPLICABILITY.

The Traditional Neighborhood Development (TND) ordinance is an alternative set of standards for land annexed into the City for development consisting of forty (40) acres or more. The TND shall be required for those properties located within the proposed neighborhood Centers shown on the Future Land Use Map of the Sewer Service Area Plan. TND developments shall follow the preliminary and final plat procedures listed in the Municipal Code. If there is a conflict between the ordinances, the provisions of this ordinance shall apply.

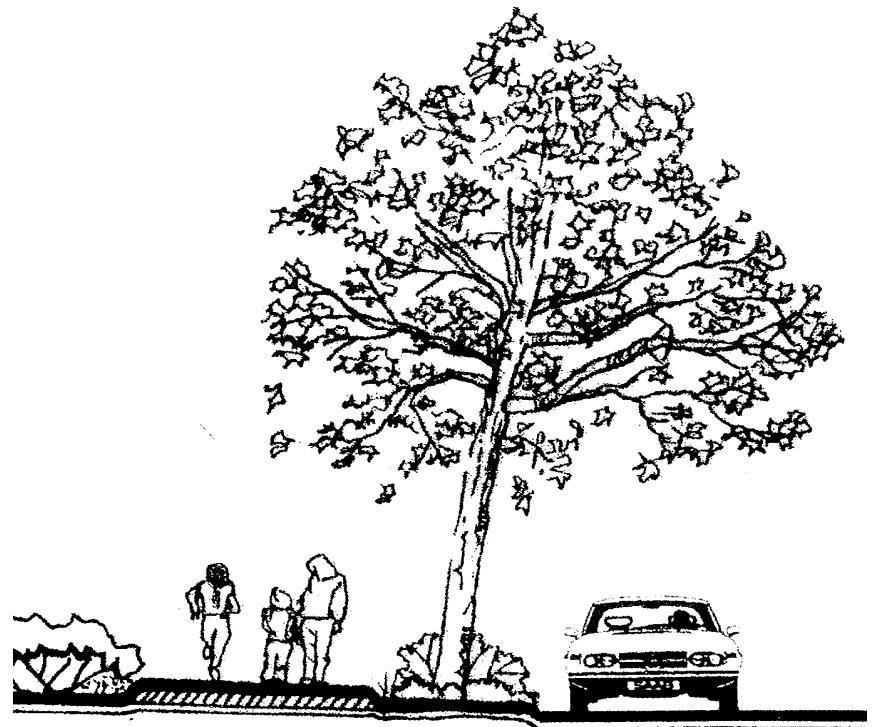


Figure 4. A boulevard planted with trees and shrubs.



2 DEFINITIONS

BOULEVARD: The portion of the street right-of-way between the back of curb line and sidewalk or property line. The right-of-way shall be a minimum of seven (7) feet for all residential areas.



Figure 5. A gateway roundabout entrance with a clock.

GATEWAY: A principle point or entrance into a district or neighborhood.

GATEWAY BUILDING: A building located at a gateway and that dramatically marks this entrance or transition through massing, extended height, use of arches or colonnades, or other distinguishing features.

MODIFIED GRID STREET PATTERN: An interconnected system of streets that is primarily a rectilinear grid and pattern, however, modified in a street layout and block shape as to avoid a monotonous repetition of the basic street/block grid pattern. Street layouts for blocks are generally in the range of two to four hundred (200-400) feet deep by four to eight hundred (400-800) feet long.



Figure 6. A central gathering place in a community park.

NEIGHBORHOOD CENTER: A street containing a mix of uses, including the planned small communities greatest concentration of commercial development. The neighborhood center together with the community park shall form the focus of the traditional neighborhood.

PARKWAY: A landscape median commonly located in the center of a public right-of-way. Parkways vary in width from four to fifteen feet, depending on the street type and intensity of adjacent uses.

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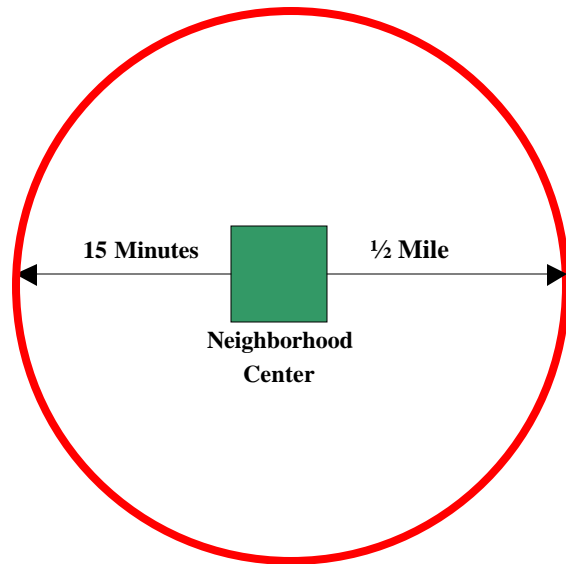


Figure 7. A neighborhood center or core should be no more than a 15 minute walk or a 1/2 mile from any part of the surrounding neighborhood.

TRADITIONAL NEIGHBORHOOD: A pedestrian-oriented neighborhood, with variable lot widths and sizes, a mix of dwelling unit types, and non-residential uses generally located along a neighborhood center commercial area or fronting on a community green. A minimum of two (2%) percent and a maximum of ten (10%) percent of the gross area of the TND shall be designated for commercial and civic or institution use lots. At least fifty (50%) percent of the minimum two (2%) percent lots shall be designated for civic or institution use lots. No part of the neighborhood should be more than a fifteen-minute walk from the neighborhood center (core).



Figure 8. Illustration of Main Street River Falls.



3. TRADITIONAL NEIGHBORHOOD DEVELOPMENT DESIGN STANDARDS

3.1 Neighborhood Uses.

In order to make a neighborhood walkable, it is important to mix land uses. Therefore a TND shall consist of three types of land uses: a mix of residential uses, a mixed-use area, and open space. A TND shall have approximately thirty (30) percent of the residential units designated for attached houses (multi-family) and small lot (fifty feet or less in width) detached houses. These land uses types are:

3.1.1 A mix of residential uses.

A mix of residential uses of the following types can occur anywhere in the traditional neighborhood development.

- Single-family detached dwellings;
- Single-family attached dwellings, including duplexes, twin homes, townhouses, row houses;
- Multifamily dwellings, including senior housing;
- "Special needs" housing, such as community living arrangements and assisted living facilities.

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3.1.2 Mixed use area.

Mixed use area of commercial residential, civic or institutional, and open space uses as identified below. Residents should be within approximately one-half (1/2) mile or a fifteen (15)-minute walk from existing or proposed commercial, civic, and open space area. Individual commercial businesses should not exceed six thousand (6000) square feet in size. Commercial and civic or institution use lots shall be within or adjacent to a square or park.



Figure 9. Mixed-use with retail on the bottom and housing on top.

■ Commercial uses

- Food services (neighborhood grocery stores, butcher shops, bakeries, restaurants, cafes, coffee shops, neighborhood bars or pubs);

- Retail uses (florists or nurseries, hardware stores, stationery stores, book stores, studios and shops of artists and artisans);
- Services (day care centers, music, exercise studios, offices, professional and medical offices, banks, barber, salon, dry cleaning, [gas station(s) and their uses shall be approved by the Plan Commission and City Council]);
- Accommodations (bed and breakfast establishments, small hotels or inns).

■ Residential uses

- Single-family attached dwellings, including duplexes, townhouses, row houses;
- Multifamily dwellings, including senior housing;
- Residential units located on upper floors above commercial uses or to the rear of storefronts;
- “Live/work” units that combine a residence and the resident’s workplace;
- “Special needs” housing, such as community living arrangements and assisted living facilities.

■ Civic or institutional uses

- Municipal offices, police, fire stations, libraries, museums, community meeting facilities, and post offices (these may be substations);
- Transit shelters;
- Places of worship;
- Educational facilities (if required by School District).

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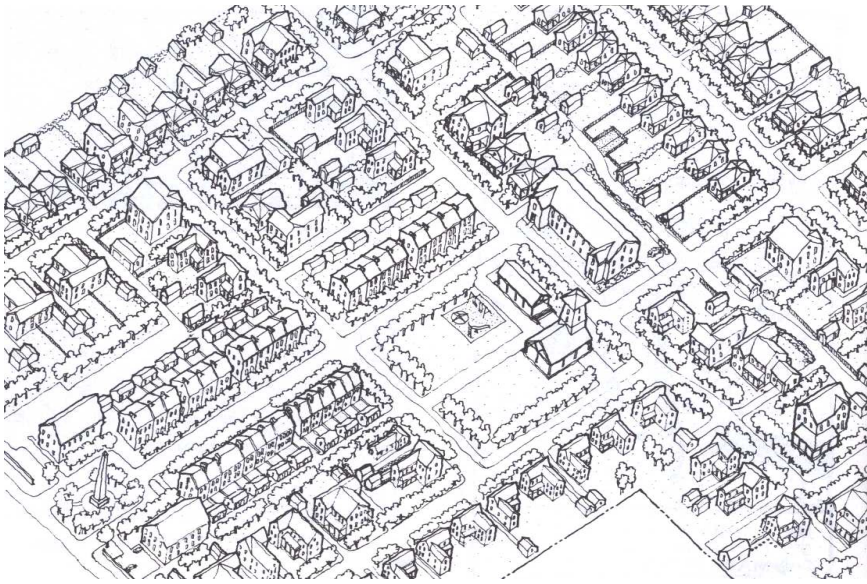


Figure 10. A Traditional Neighborhood Development.

- ❑ Open space uses
 - Central square;
 - Neighborhood park;
 - Playground.

3.1.3 Open space uses.

Open space uses identified below should be incorporated in the traditional neighborhood development as appropriate. Large outdoor recreation areas should be located at the periphery of neighborhoods rather than central location.

- ❑ Protected natural areas;

- ❑ Community parks;
- ❑ Streams, ponds, and other water bodies;
- ❑ Stormwater detention/retention facilities;
- ❑ Environmental corridors.

3.2 Development Units.

The number of residential dwelling units and the amount of nonresidential development (excluding open spaces) shall be determined as follows:

3.2.1 Mixed residential uses.

- ❑ The number of single-family attached and detached units permitted shall be three (3) to six (6) dwelling units per net acre;
- ❑ The number of multi-family units shall be medium six (6) to nine (9) and high nine (9) – twelve (12) dwelling units per net acre.



Figure 11. A mixed-use area.

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3.2.2 Mixed use areas.

❏ The number of single-family and multi-family dwelling units permitted shall be calculated the same as above.

❏ All dwelling units constructed above commercial uses shall be permissible in addition to the number of dwelling units authorized under this section. However, the total number of dwelling units shall not be increased by more than ten percent, whichever is greater.

3.3 Parkland.

Parkland shall be dedicated in accordance with the requirements of the Municipal Code Section 18.09. Ninety percent of the lots within the areas devoted to mixed residential use shall be within one-half (1/2) of a mile or a fifteen (15)-minute walk from common open space dedicated for park purposes.



Figure 12. A park use.

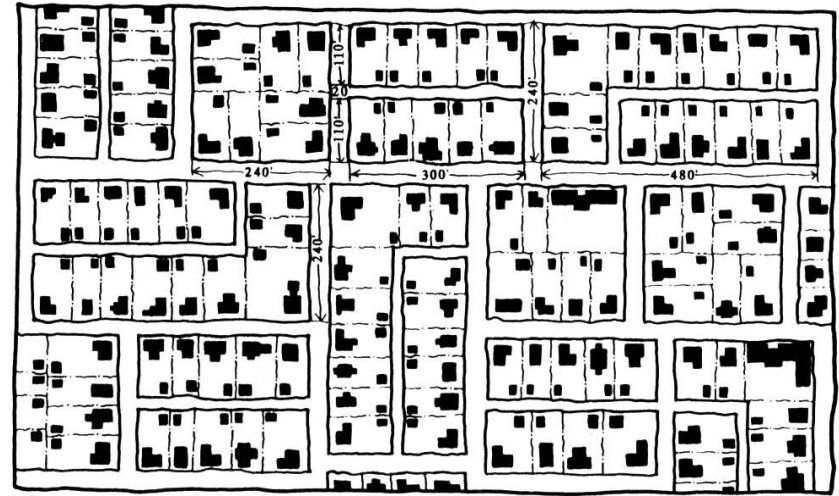


Figure 13. Neighborhood block layouts with a variety of lot size and diversity.

3.4 Lot and Block Standards.

3.4.1 Block and lot size diversity.

Street layouts should provide for perimeter blocks that are generally in the range of two hundred (200') - four hundred (400') feet deep by four hundred (400') - eight hundred (800') feet long. A variety of lot sizes throughout the development shall be provided to facilitate housing diversity and choice and meet the projected requirements of people with different housing needs. No block face shall have a length greater than five hundred (500) feet without a dedicated alley or pathway providing through access.

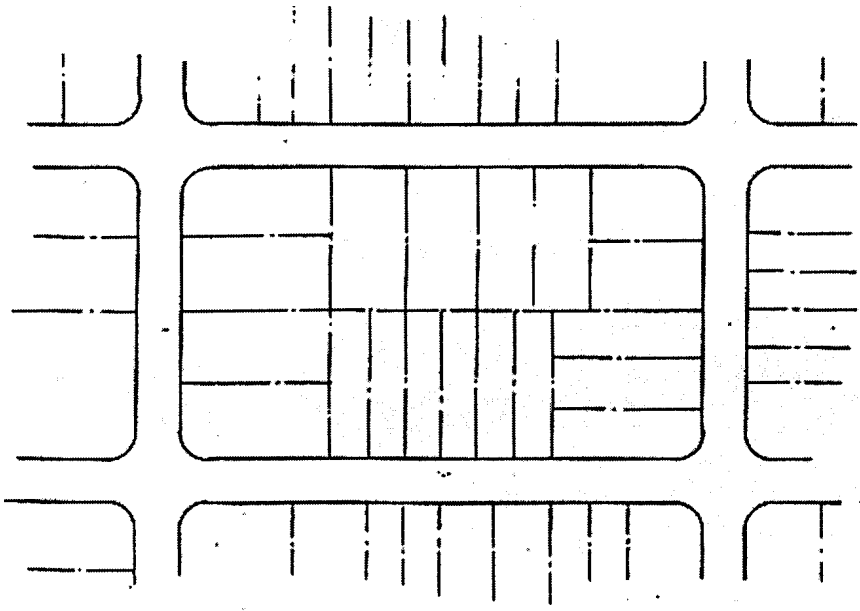


Figure 14. Different lot sizes within a residential block.

3.4.2 Lot widths.

Lot widths should create a relatively symmetrical street cross section that reinforces the public space of the street as a simple, unified public space.

3.4.3 Building setback, front-mixed use area.

Structures in mixed-use area have no minimum setback. Commercial and civic or institutional buildings should abut the sidewalks in mixed-use area.



Figure 15. A home utilizes short set back from the street.

3.4.4 Building setback, front-mixed residential.

Single-family and multifamily residences shall have a building setback in the front between zero and twenty-five (0-25) feet.

3.4.5 Building setback, rear - mixed residential uses.

The principal building on lots devoted to single-family detached residences shall be setback no less than thirty (30) feet from the rear lot line. All other buildings shall be setback minimum five (5) feet.

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3.4.6 Side setbacks.

Provision for zero lot-line single-family dwellings should be made, provided that a reciprocal access easement is recorded for both lots and townhouses or other attached dwellings, provided that all dwellings have pedestrian access to the rear yard through means other than the principal structure. A corner lot shall comply with the Municipal Code.



Figure 16. The illustration shows a TND neighborhood with a narrow street, tree lined boulevard and short setback distance to the homes.

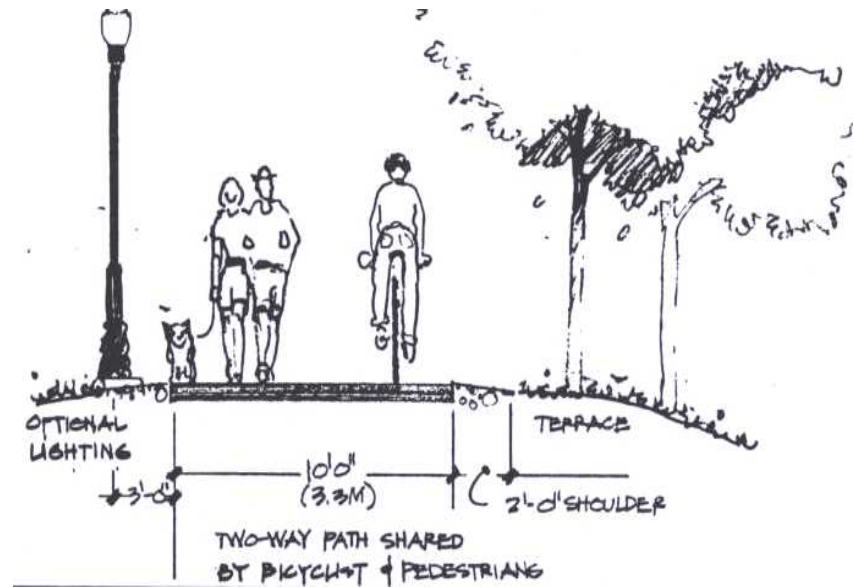


Figure 17. Bicycle and pedestrian circulation.

3.5 Circulation Standards.

The circulation system shall allow for different modes of transportation. The circulation system shall provide functional and visual links within the residential areas, mixed use area, and open space of traditional neighborhood development and shall be connected to existing and proposed external development. The circulation system shall provide adequate traffic capacity, provide connected pedestrian and bicycle routes (especially off-street bicycle or multi-use paths or bicycle lanes on the streets), control through traffic, limit lot access to streets of lower traffic volumes and promote safe and efficient mobility through the traditional neighborhood development. The applicant shall show

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compliance with this section, City of River Falls Municipal Code, and City Plans (Bicycle and Pedestrian Plan, Park and Recreation Plan, Sewer Service Plan, and City Master Plan) by submitting a circulation plan. The following provisions also apply:

3.5.1 Pedestrian circulation.

Convenient pedestrian circulation systems that minimize pedestrian-motor vehicle conflicts shall be provided continuously throughout the Traditional Neighborhood Development. Where feasible, any existing pedestrian routes through the site shall be preserved and enhanced. A minimum of a five (5') foot-wide sidewalk shall be provided on both sides of all streets.

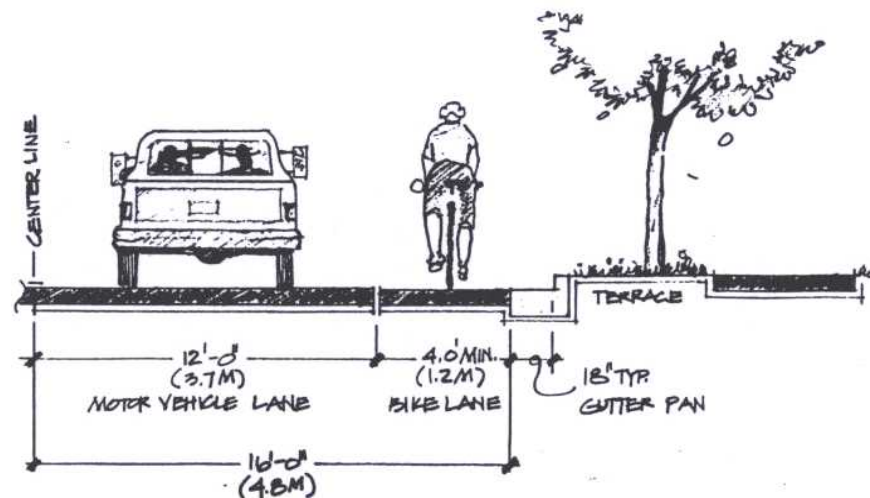


Figure 18. On street bicycle circulation.

3.5.2 Bicycle circulation.

Bicycle circulation shall be accommodated on streets and/or on dedicated bicycle paths.

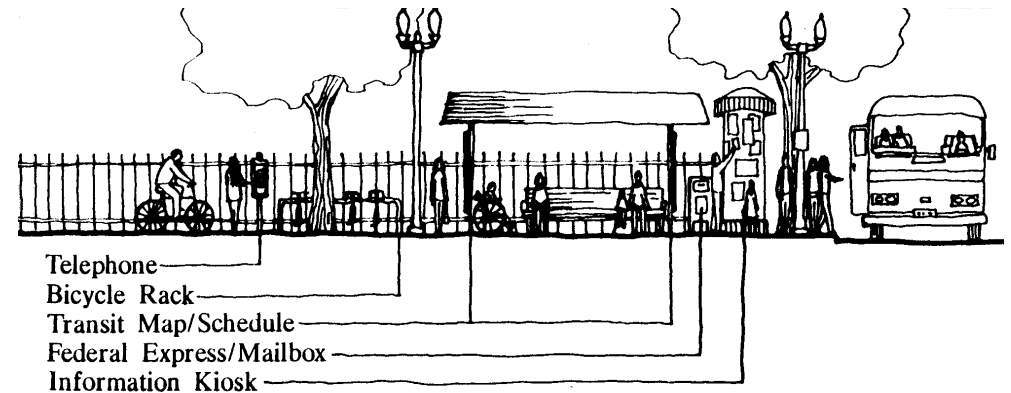


Figure 19. An illustration of a public transit access point.

3.5.3 Public transit access.

Where public transit service is available or planned, convenient access to transit stops shall be provided. Where transit shelters are provided, they shall be placed in highly visible locations that promote security through surveillance, and shall be well-lighted.

3.5.4 Motor vehicle circulation.

Motor vehicle circulation shall be designed to minimize conflicts with pedestrians and bicycles. Traffic calming features such as "queuing streets," curb extensions, traffic circles, center turn lanes, and medians may be used to encourage slow traffic speeds.

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3.6 Parking Requirements.

Parking areas for shared or community use should be encouraged. In addition:

3.6.1 Mixed-use area.

In the mixed-use area, any parking lot shall be located at the rear or side of a building. If located at the side, screening shall be provided.

3.6.2 Parking lot or garage.

A parking lot or garage located adjacent to or opposite a street intersection shall be landscaped and screened.

3.6.3 Parking plan.

A parking plan shall be submitted by the applicant showing compliance with the City of River Falls Municipal Code.

3.6.4 Service access.

Access for service vehicles should provide a direct route to serve and loading dock areas, while avoiding movement through parking areas. Alleyways may be provided in commercial and residential area for service vehicles, utilities, and other uses.

3.6.5 Paving.

Reduction of impervious surfaces through the use of interlocking pavers is strongly encouraged for areas such as remote parking lots and parking areas for periodic uses.

3.7 Architectural Standards.

Due to the mixed-use nature of the development, architectural compatibility is necessary in order to visually integrate development and allow for proximity of varied uses. The design style of the TND shall be conveyed with drawing or computer simulations of typical proposed building elevations (including dimensions of building height and width, and facade treatment).



Figure 20. A Third Street home utilizes TND standards.

3.7.1 Guidelines for existing structures.

Existing Structures, if determined to be historic or architecturally significant, shall be protected from demolition or encroachment by incompatible structures or landscape development. The U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Properties shall be used as the criteria for renovating historic or architecturally significant structures.

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Figure 21. A new commercial district utilizes design standards

3.7.2 Guidelines for new structures.

▣ Entries and Facades.

- For commercial buildings the architectural features, materials, and the articulation of a building shall be continued on all sides visible from a public street.
- The front façade of the principal building on any lot in a Traditional Neighborhood Development shall face onto a public street.
- The front façade shall not be oriented to face directly toward a parking lot.
- Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences.
- For commercial buildings, a minimum of fifty (50)

percent of the front façade on the ground floor shall be transparent, consisting of window or door openings allowing views into and out of the interior.

- For commercial structures on opposite sides of the same street should follow similar design guidelines. This provision shall not apply to buildings bordering civic uses.



Figure 22. A typical cantilever sign.

3.7.4 Guidelines for exterior signage.

A comprehensive sign program is required for the entire Traditional Neighborhood Development that establishes a uniform sign theme. Signs shall share a common style (e.g., size, shape, material). Signs for commercial shall be wall signs or cantilever signs. Cantilever signs shall be mounted perpendicular to the building face and shall not exceed eight (8) square feet.

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Figure 23. Street light.

3.7.5 Guidelines for lighting.

Street lighting shall be provided along all streets. Generally more, smaller lights, as opposed to fewer, high-intensity lights, should be used. Street lights shall be installed on both sides of the street at intervals of not greater than seventy-five (75) feet. Street lighting design shall meet the minimum standards developed by the Illumination Engineering Society. Lighting structures

shall be architecturally compatible with the surrounding area. Exterior lighting shall be shielded and directed downward in order to reduce glare onto adjacent properties.

3.8 Landscaping and Screening Standards. Overall composition and location of landscaping shall complement the scale of the development and its surroundings. In general, larger, well-placed contiguous planting areas shall be preferred to smaller, disconnected areas. Where screening is required by this ordinance, it shall be at least three (3') feet in height, unless otherwise specified. Required screening shall be at least fifty (50) percent opaque throughout the year. Screening shall be satisfied

by one or some combination of: a decorative fence not less than fifty (50) percent opaque behind a continuous landscaped area, a masonry wall, or a hedge.

3.8.1 Street trees.

Street Trees shall be planted in accordance to the requirement of the City of River Falls Municipal Code.

3.8.2 Parking area landscaping and screening.

❏ All parking and loading areas fronting public streets or sidewalks, and all paving and loading areas abutting residential district or uses, shall be in conformance with the Parking Standards and Landscape requirements contained in the City of River Falls Municipal Code.



Figure 24. Landscaping and screening of parking areas.

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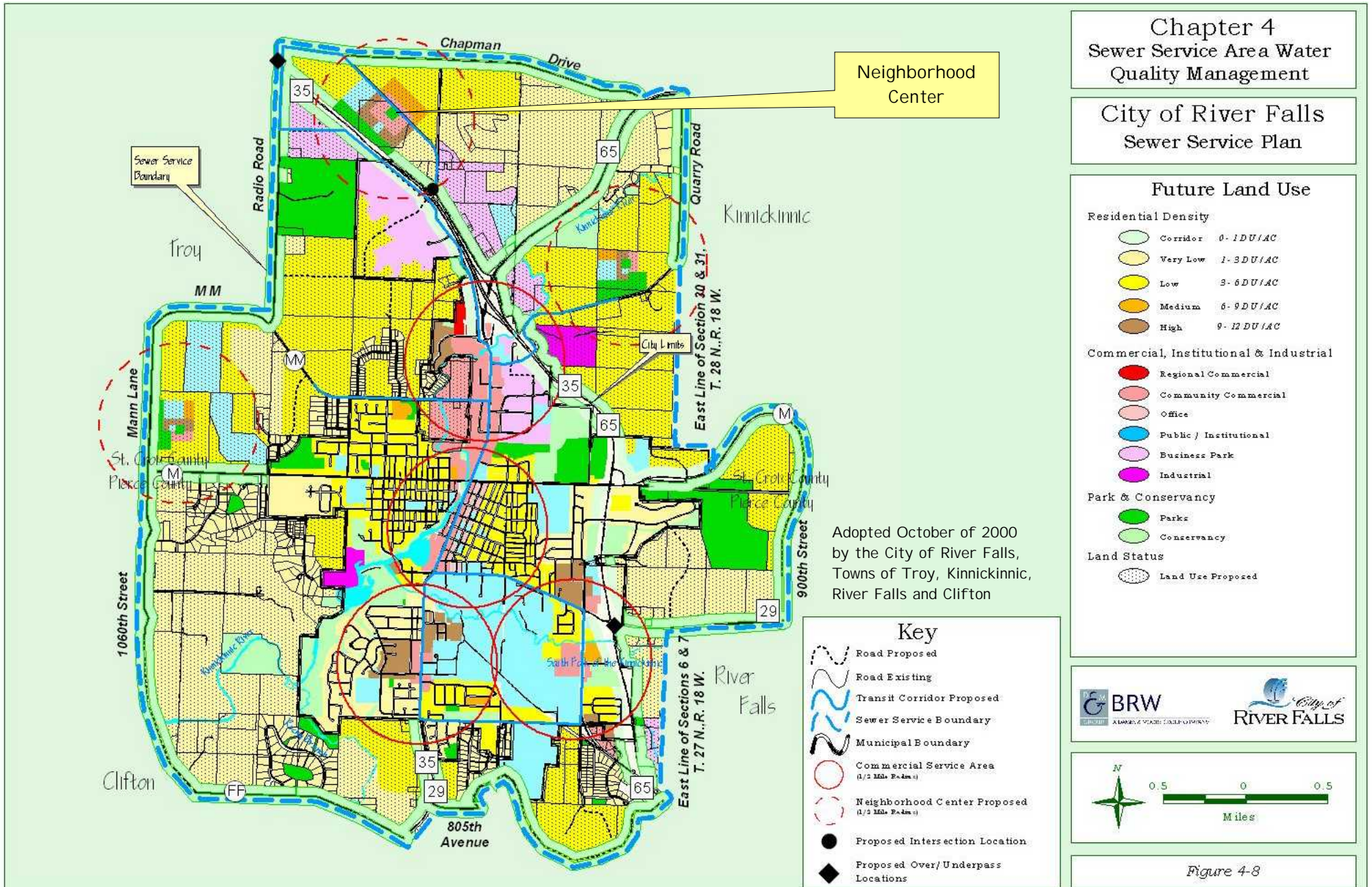


Figure 25. Future Land Use map of the Sewer Service Area Boundary Plan and Proposed Neighborhood Centers.