

CITY OF RIVER FALLS ROOF REPLACEMENT PROJECTS

RIVER FALLS CITY HALL
222 LEWIS STREET
RIVER FALLS, WISCONSIN

RIVER FALLS PUBLIC LIBRARY
140 UNION STREET
RIVER FALLS, WISCONSIN

PROJECT DIRECTORY:

BUILDING OWNER:
CITY OF RIVER FALLS
222 LEWIS STREET
RIVER FALLS, WI 54022
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ARCHITECT:
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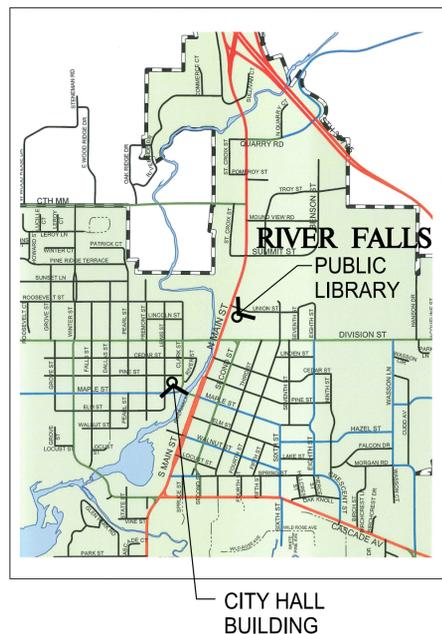
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ROOF PLAN
AD200 CITY HALL EXISTING/ DEMOLITION
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A200 CITY HALL ROOF PLAN
A300 PUBLIC LIBRARY ROOF PLAN
A400 ROOF DETAILS
A401 ROOF DETAILS

GENERAL NOTES

1. THE CONTRACTOR SHALL ACCEPT THE PROJECT SITE AS IT EXISTS. ALL EXISTING CONDITIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ITEM(S) OF WORK WHICH IS REASONABLY QUESTIONABLE WITHOUT CONSULTING THE OWNER OR ARCHITECT.
2. ALL WORK, PROCEDURES, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED.
3. ALL CONSTRUCTION SCHEDULING AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH REMOVAL AT INTERVALS SUCH THAT EXCESSIVE AMOUNTS OF TRASH AND DEBRIS ARE NOT ALLOWED TO ACCUMULATE IN THE WORK AREAS OR ON THE SITE. CONTRACTOR SHALL FURNISH CONTAINERS FOR PROPER STORAGE AND REMOVAL OF TRASH.
5. SECURITY: GENERAL CONTRACTOR IS RESPONSIBLE FOR PROJECT SECURITY.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK SO AS TO MAINTAIN SOLE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SEQUENCES.
7. GENERAL CONTRACTOR COORDINATE WITH ALL SUBCONTRACTORS ALL REQUIRED OPENINGS, NOT INDICATED HEREIN.
8. THESE CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT THE BUILDING. CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING PROCEDURES, AND SITE SAFETY PRECAUTIONS ARE RESPONSIBILITIES OF THE CONTRACTOR.

PROJECT LOCATION MAP



VIEW OF WEST ELEVATION OF CITY HALL



VIEW OF EAST ELEVATION OF CITY HALL



VIEW OF WEST ELEVATION OF PUBLIC LIBRARY



VIEW OF SOUTH ELEVATION OF CITY HALL



VIEW OF THE SOUTHEAST CORNER OF THE PUBLIC LIBRARY



VIEW OF SOUTH ELEVATION OF PUBLIC LIBRARY



VIEW OF NORTH ELEVATION OF CITY HALL



VIEW OF EAST ELEVATION OF PUBLIC LIBRARY



VIEW OF NORTH ELEVATION OF PUBLIC LIBRARY

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

07.06.23 NUMBER: A-9082

MARK	DATE	DESCRIPTION

CITY OF RIVER FALLS: CITY HALL BUILDING & PUBLIC LIBRARY ROOF REPLACEMENT PROJECTS
RIVER FALLS, WI

AYRES ASSOCIATES
River Falls Office
215 N. 2nd Street, Suite 204
River Falls, WI 54022
(715) 831-7552

TITLE SHEET
THE DESIGNS AND PLANS INDICATED ON THE DRAWINGS ARE THE PROPERTY OF FRISBIE ARCHITECTS, INC. ALL RIGHTS ARE RESERVED. NO DESIGNS OR PLANS SHALL BE USED OR REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF AYRES ASSOCIATES.

PROJECT NO. 08-2007

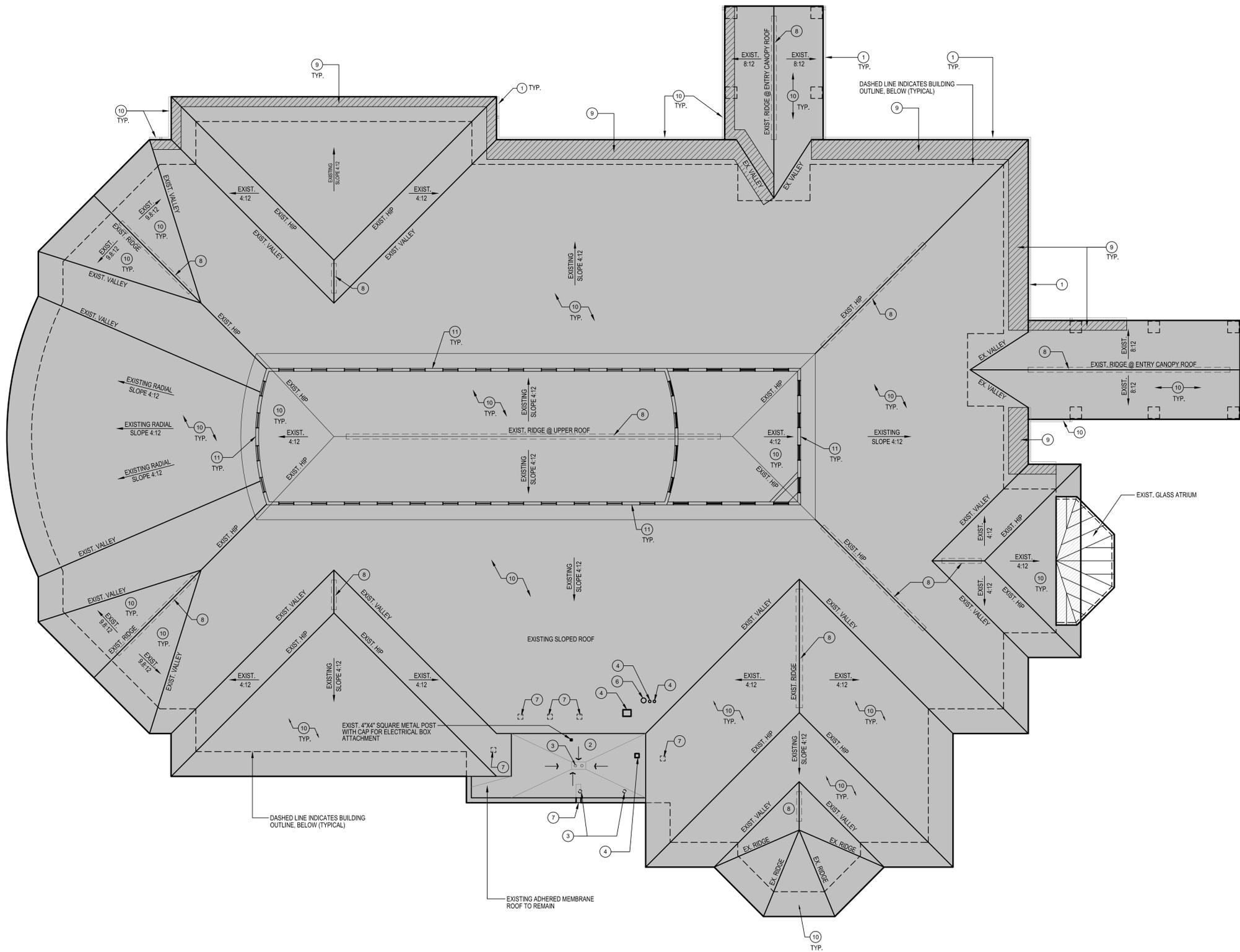
G01

6 JULY 2023

MARK	DATE	DESCRIPTION

GENERAL DEMOLITION NOTES:

- EACH CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO BIDDING AND START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL ITEMS NECESSARY TO CONSTRUCT THE NEW WORK AS DESIGNED BUT NOT INDICATED HEREIN.
- THE OWNER SHALL HAVE THE RIGHT OF FIRST REFUSAL ON ITEMS REMOVED BY THE CONTRACTOR WHICH ARE NOT INDICATED TO BE REUSED IN THE CONSTRUCTION OF THE NEW WORK. ANY ITEM NOT RETAINED BY THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONSTRUCTION TO REMAIN - ALL NEW HOLES, ABRASIONS, AND OPENINGS LEFT FROM THE REMOVAL FASTENERS, ETC. SHALL BE FILLED WITH APPROPRIATE MATERIALS TO MATCH THE SURROUNDING EXISTING CONSTRUCTION PRIOR TO THE NEW WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION TO REMAIN ETC. AS REQUIRED DURING DEMOLITION. ANY DAMAGE TO EXISTING CONSTRUCTION TO REMAIN SHALL BE REPAIRED AS NEEDED BY EACH CONTRACTOR CAUSING THE DAMAGE.
- THE DEMOLITION SHOWN ON THIS SHEET HAS BEEN PREPARED TO ASSIST THE CONTRACTOR IN DETERMINING THE SCOPE OF DEMOLITION WORK TO BE INCLUDED IN THIS PROJECT. THE CONTRACTOR SHALL REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- INFORMATION PERTAINING TO EXISTING CONDITIONS IS BASED UPON VISUAL INSPECTION OF EXISTING CONDITIONS. WHILE SUCH DATA HAS BEEN COLLECTED WITH REASONABLE CARE, THERE IS NO EXPRESSED OR IMPLIED GUARANTEE THAT CONDITIONS SO INDICATED ARE ENTIRELY REPRESENTATIVE OF THOSE ACTUALLY EXISTING. THE GENERAL CONTRACTOR NOTIFY THE ARCHITECT AT ONCE OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ENCOUNTERED.
- GENERAL CONTRACTOR TO VERIFY IN FIELD ALL CONSTRUCTION DIMENSIONS AND EXISTING STRUCTURAL CONDITIONS PRIOR TO THE START OF CONSTRUCTION.



NUMBERED DEMOLITION NOTES

- EXISTING GUTTER TO REMAIN, TYPICAL.
- EXISTING ADHERED MEMBRANE ROOF TO REMAIN.
- EXISTING ROOF DRAIN TO REMAIN
- EXISTING MECHANICAL EXHAUST VENT
- EXISTING OVERFLOW SCUPPER
- EXISTING MECHANICAL FLUE
- REMOVE EXISTING 12' x 12' ROOF VENT
- REMOVE EXISTING CAP SHINGLES AND EXISTING RIDGE VENT, TYPICAL.
- HATCHED AREA INDICATES LOCATION OF EXISTING ELECTRIC SNOW MELT CABLING TO BE REMOVED AND REINSTALLED BY THE OWNER.
- REMOVE EXISTING FLASHINGS, ASPHALT SHINGLES, UNDERLAYMENT, ICE AND WATER SHIELD AND METAL ROOF EDGE FROM ENTIRE SLOPED ROOF AREA. AFTER DEMOLITION, INSPECT EXISTING WOOD ROOF SHEATHING AND REPLACE ANY DAMAGED ROOF SHEATHING WITH MATERIAL MATCHING THE EXISTING SHEATHING THICKNESS.
- REMOVE EXISTING ROOF TO WALL CONTINUOUS VENT COVER AND FLASHING. INSPECT & VERIFY THAT A 2" WIDE VENTILATION GAP IS PROVIDED AROUND THE ENTIRE PERIMETER OF THE CUPOLA. SALVAGE AND CLEAN FOR REUSE.

CITY OF RIVER FALLS: CITY HALL BUILDING & PUBLIC LIBRARY ROOF REPLACEMENT PROJECTS
RIVER FALLS, WI



LIBRARY EXISTING/ DEMOLITION ROOF PLAN

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PROJECT NO. 08-2007

AD100

6 JULY 2023



MARK	DATE	DESCRIPTION

CITY OF RIVER FALLS: CITY HALL BUILDING & PUBLIC LIBRARY ROOF REPLACEMENT PROJECTS
RIVER FALLS, WI

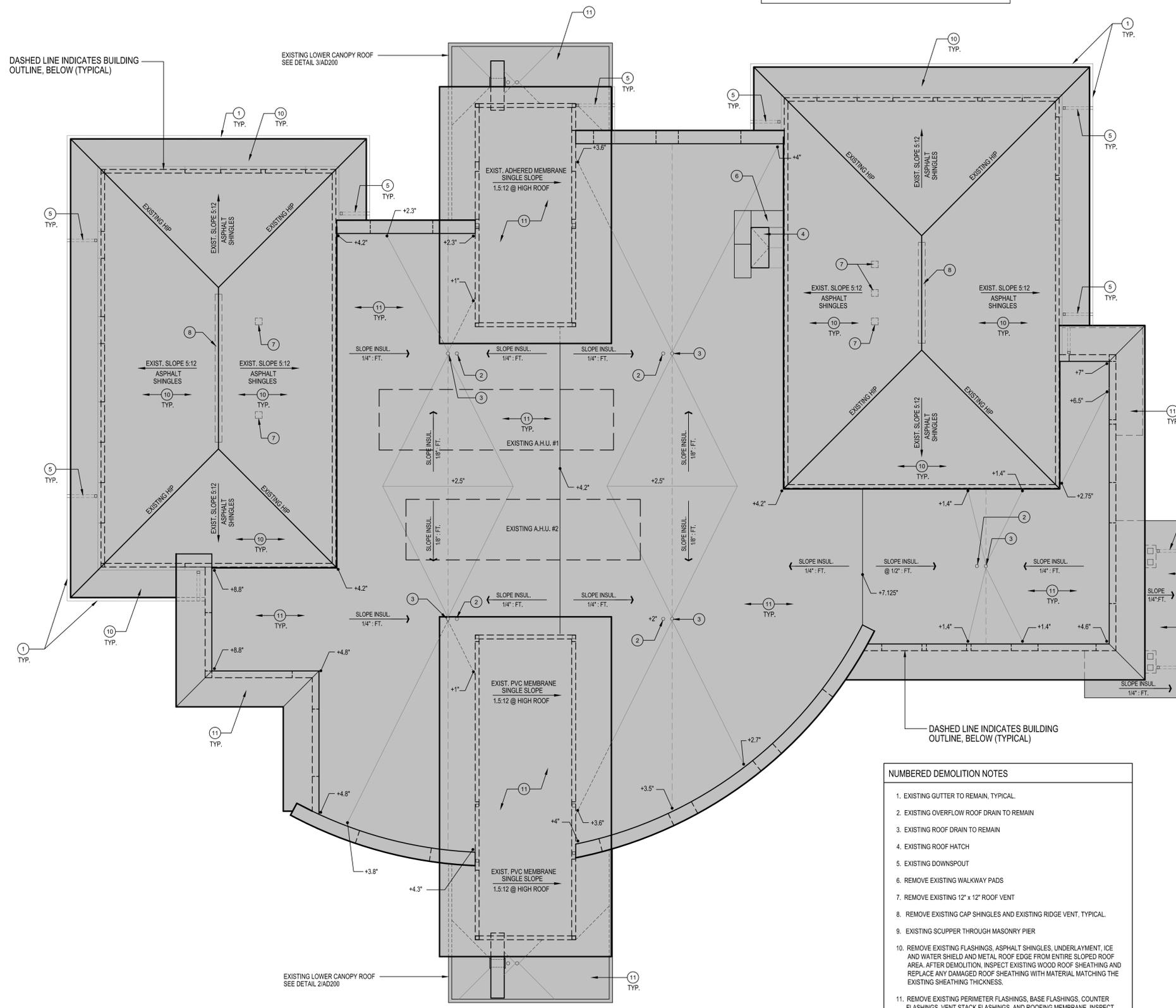
AYRES ASSOCIATES
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215 N. Second Street Suite 204
River Falls, WI 53075
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CITY HALL ROOF PLAN & DETAILS

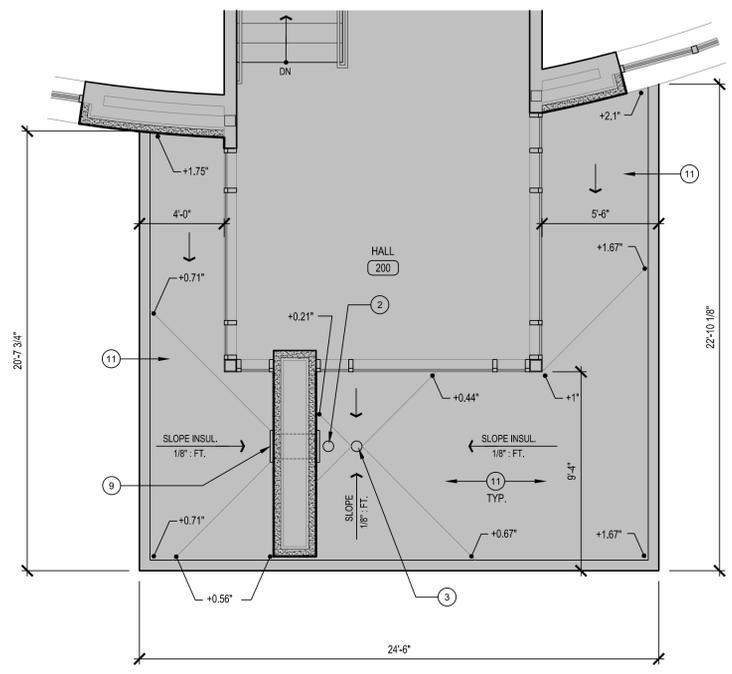
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* NOTE:
REFER TO THE 'GENERAL DEMOLITION NOTES' INDICATED ON SHEET AD100.

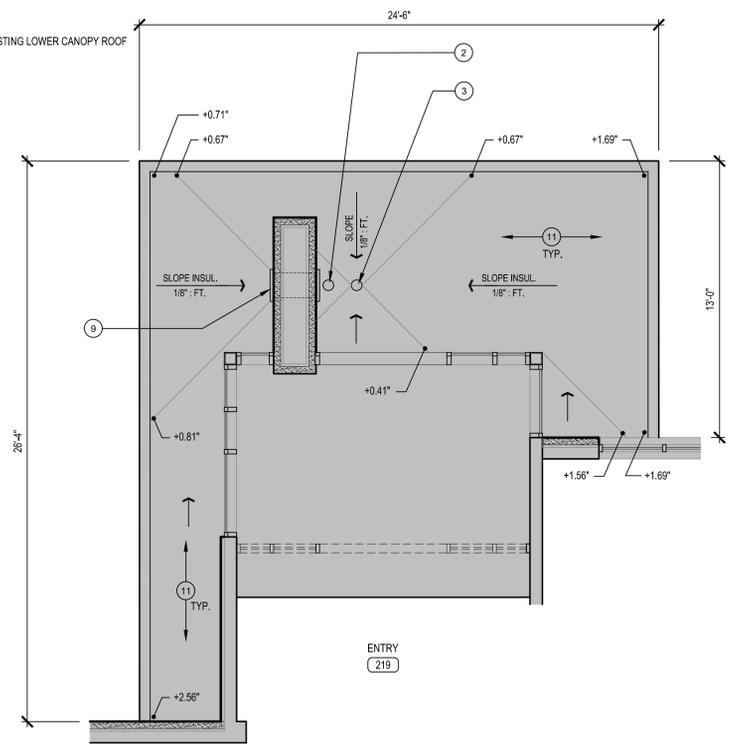
DASHED LINE INDICATES BUILDING OUTLINE, BELOW (TYPICAL)



- NUMBERED DEMOLITION NOTES
- EXISTING GUTTER TO REMAIN, TYPICAL.
 - EXISTING OVERFLOW ROOF DRAIN TO REMAIN
 - EXISTING ROOF DRAIN TO REMAIN
 - EXISTING ROOF HATCH
 - EXISTING DOWNSPOUT
 - REMOVE EXISTING WALKWAY PADS
 - REMOVE EXISTING 12' x 12" ROOF VENT
 - REMOVE EXISTING CAP SHINGLES AND EXISTING RIDGE VENT, TYPICAL.
 - EXISTING SCUPPER THROUGH MASONRY PIER
 - REMOVE EXISTING FLASHINGS, ASPHALT SHINGLES, UNDERLAYMENT, ICE AND WATER SHIELD AND METAL ROOF EDGE FROM ENTIRE SLOPED ROOF AREA. AFTER DEMOLITION, INSPECT EXISTING WOOD ROOF SHEATHING AND REPLACE ANY DAMAGED ROOF SHEATHING WITH MATERIAL MATCHING THE EXISTING SHEATHING THICKNESS.
 - REMOVE EXISTING PERIMETER FLASHINGS, BASE FLASHINGS, COUNTER FLASHINGS, VENT STACK FLASHINGS, AND ROOFING MEMBRANE. INSPECT FOR DAMAGED INSULATION COVER BOARD, INSULATION, VAPOR RETARDER AND DECK SHEATHING (SUBSTRATE BOARD), PRIOR TO RE-ROOFING.



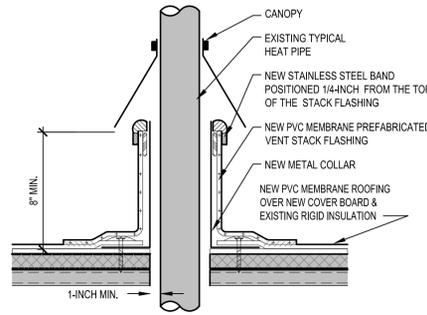
2 EXISTING/ DEMOLITION CITY HALL EAST ENTRY CANOPY ROOF PLAN
SCALE: 1/4" = 1'-0"



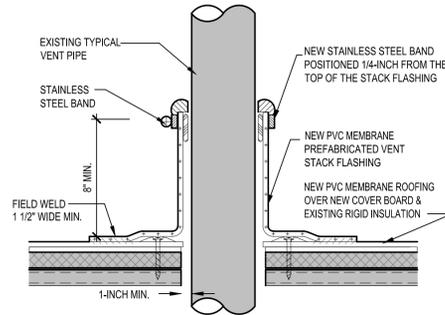
3 EXISTING/ DEMOLITION CITY HALL WEST ENTRY CANOPY ROOF PLAN
SCALE: 1/4" = 1'-0"

1 EXISTING/ DEMOLITION CITY HALL ROOF PLAN
SCALE: 1/8" = 1'-0"

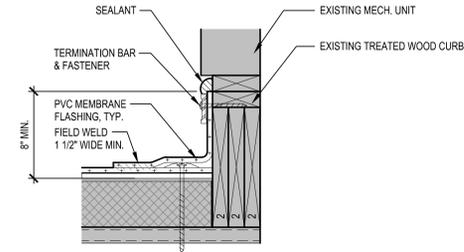




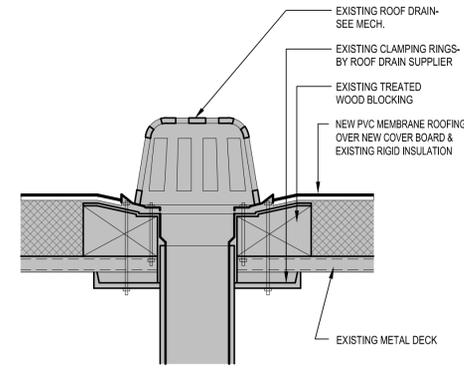
1 ROOF PENETRATION
A400 SCALE: 1 1/2" = 1'-0"



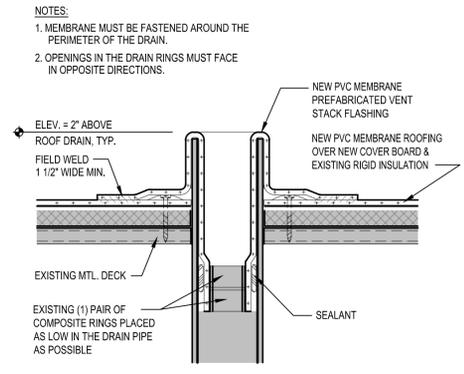
2 ROOF PENETRATION
A400 SCALE: 1 1/2" = 1'-0"



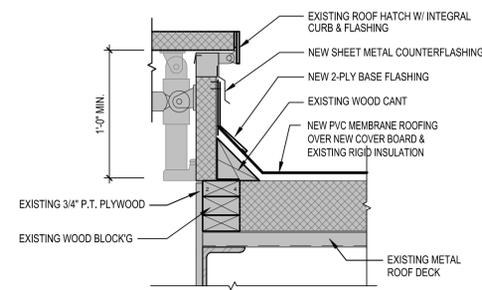
3 EQUIP. CURB DETAIL
A400 SCALE: 1 1/2" = 1'-0"



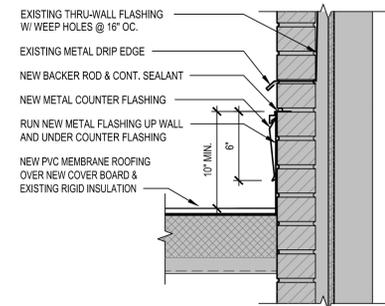
4 ROOF DRAIN DETAIL
A400 SCALE: 1 1/2" = 1'-0"



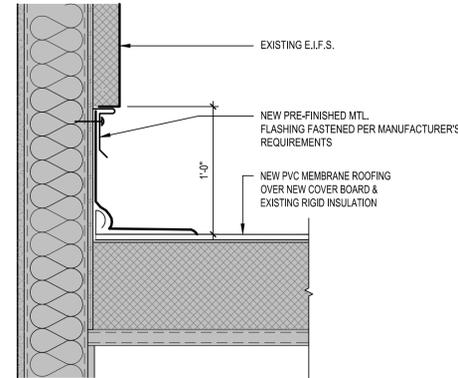
5 OVERFLOW DRAIN
A400 SCALE: 1 1/2" = 1'-0"



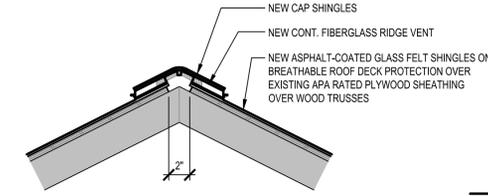
6 ROOF HATCH DETAIL
A400 SCALE: 1 1/2" = 1'-0"



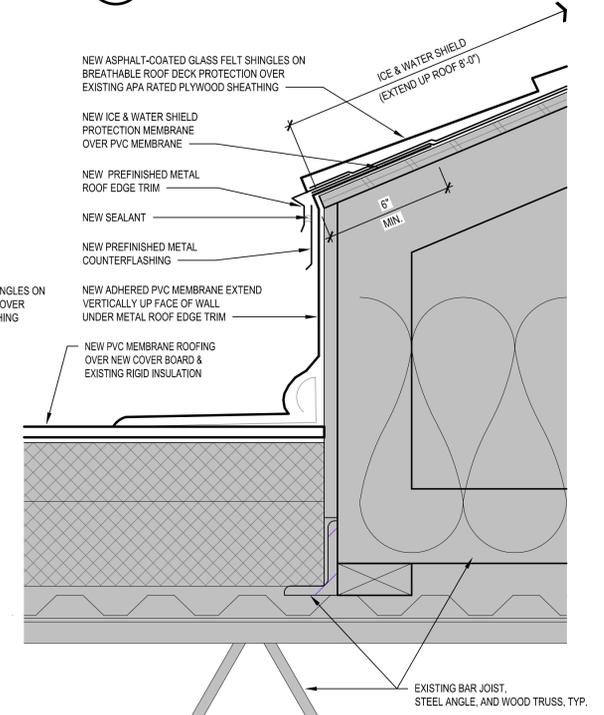
7 MASONRY COUNTER FLASHING
A400 SCALE: 1 1/2" = 1'-0"



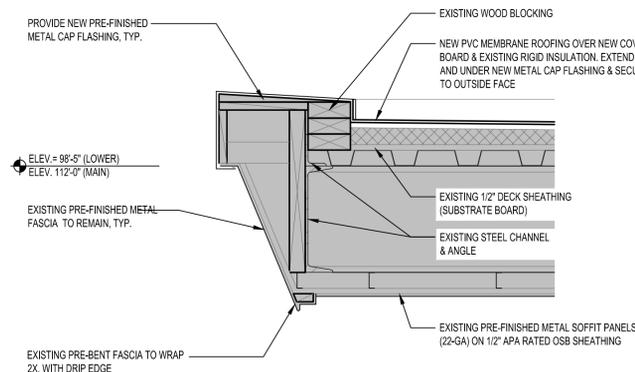
8 COUNTER FLASHING DETAIL
A400 SCALE: 1 1/2" = 1'-0"



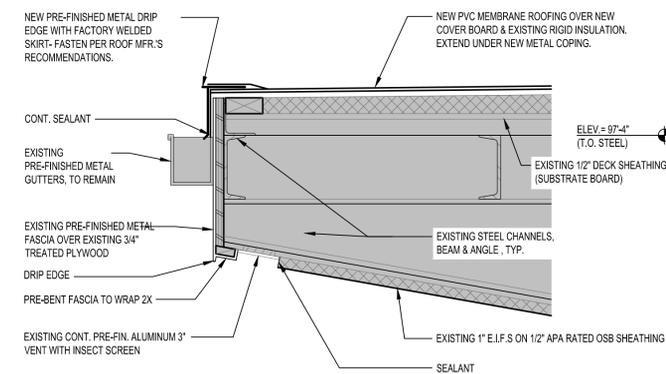
9 RIDGE VENT DETAIL
A400 SCALE: 1 1/2" = 1'-0"



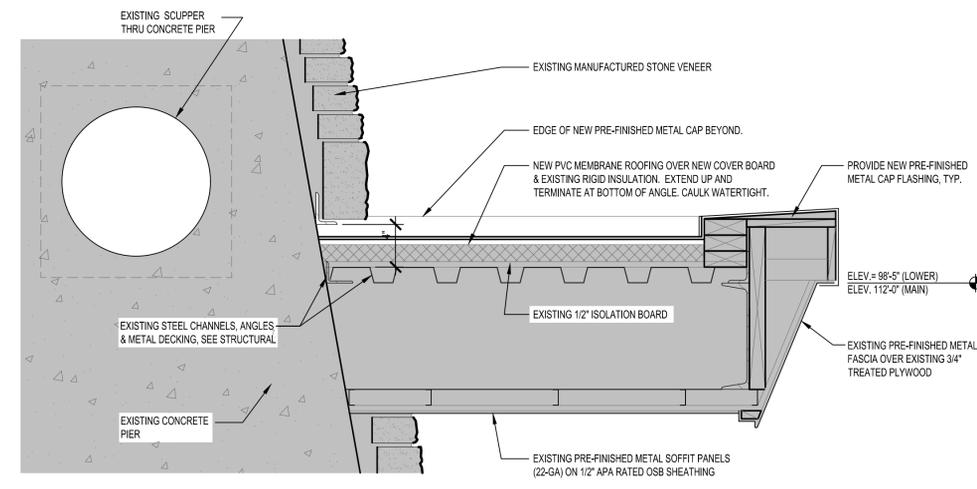
10 SHINGLED ROOF TIE IN
A400 SCALE: 3" = 1'-0"



11 DETAIL AT ENTRY CANOPY
A400 SCALE: 1 1/2" = 1'-0"



12 DRIP EDGE / GUTTER DETAIL
A400 SCALE: 1 1/2" = 1'-0"



13 CANOPY DETAIL AT MASONRY PIER
A400 SCALE: 1 1/2" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

07.06.23 NUMBER: A-9082

MARK	DATE	DESCRIPTION

CITY OF RIVER FALLS: CITY HALL BUILDING & PUBLIC LIBRARY ROOF REPLACEMENT PROJECTS
RIVER FALLS, WI

AYRES ASSOCIATES
River Falls Office
River Falls, Wisconsin 54022
(715) 831-7552

ROOF DETAILS

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PROJECT NO. 08-2007

A400

6 JULY 2023

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RIVER FALLS, WI

AYRES ASSOCIATES
 River Falls Office
 1000 Main Street, Suite 204
 River Falls, Wisconsin 54022
 (715) 831-7552

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PROJECT NO. 08-2007

A401

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